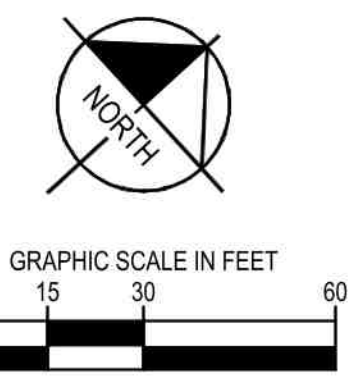
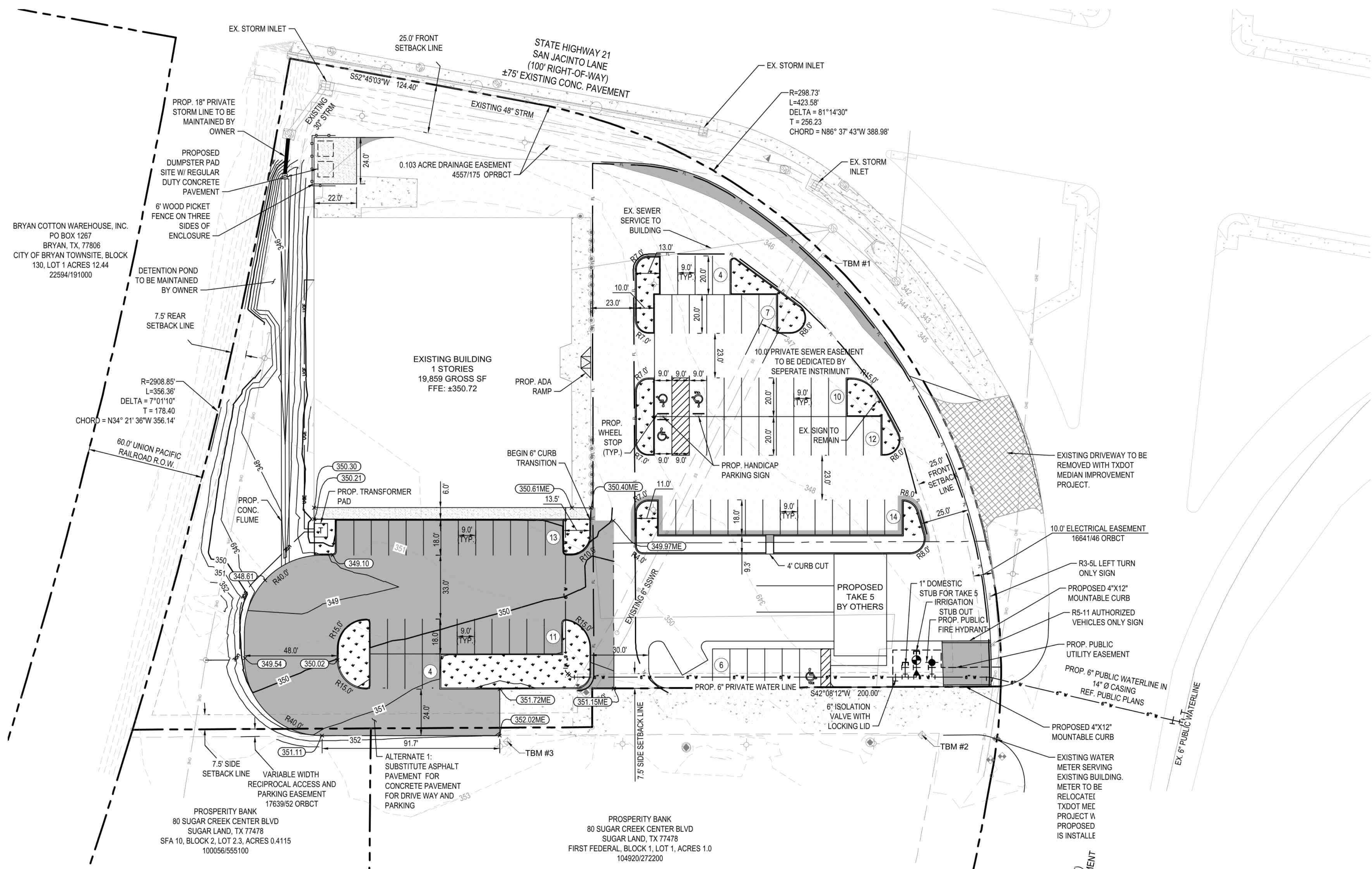


Plotted By: Briscoe, Annie (Besson) Sheet Set: KHA Layout: Layout1 March 23, 2022 11:34:11am K:\VST_Civil\066081801 - SWC TEXAS 21\CAD\Plan\Sheets\C-SITE.dwg
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LEGEND

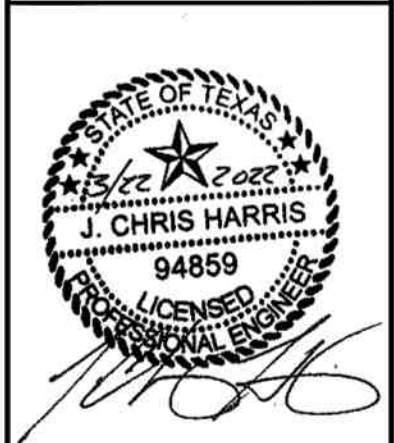
	PROPERTY LINE
	PROP. REGULAR DUTY ASPHALT PAVEMENT REF. DETAIL ON THIS SHEET
	PROP. SIDEWALK PER BCS STD DTL SW1-02
	LANDSCAPED AREA
	EX. CONCRETE PAVEMENT
	EX. ASPHALT PAVEMENT
	PROPOSED 6" CURB
	PROPOSED FIRE LANE
	6" WOOD FENCE

- ### NOTES
- PER FEMA MAP NUMBER 48041C0205F AND 48041C0215F DATED APRIL 2, 2014 NO FLOOD HAZARD AREAS ARE PRESENT ON THE SUBJECT TRACT.
 - SITE WILL NOT GENERATE WASTE WATER FROM PREPARING FOOD ITEMS
 - REFER TO GRADING PLAN SHEETS FOR GRADING DESIGN.
 - REFER TO LANDSCAPE PLAN FOR LANDSCAPE CALCULATIONS AND DESIGN.
 - REFER TO EROSION CONTROL PLAN FOR ADDITIONAL EROSION CONTROL MEASURES.
 - ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
 - ALL SIDEWALK, CURB AND GUTTER, STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, ACCESSIBLE RAMPS, ETC. CONSTRUCTED OUTSIDE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
 - FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNERS AND/OR GOVERNING AUTHORITY.
 - FOR PROPOSED UTILITY LOCATIONS, SEE UTILITY PLAN.
 - ALL DIMENSIONS REFER TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING MATERIALS AND STARTING WORK, AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL ENSURE CLEAN JOINTS AND PROTECT PAVEMENT WHEREVER PROPOSED PAVEMENT MATCHES EXISTING PAVEMENT.
 - REFER TO ARCHITECTURAL PLANS FOR SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
 - IF DEMOLITION AND OR CONSTRUCTION ON SITE WILL INTERFERE WITH ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING TxDOT-APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY ALSO BE NECESSARY.
 - NO TRAFFIC IMPACT ANALYSIS REQUIRED.
 - THE GATE VALVE ON THE BUILDING FIRE SERVICE LINE SHALL HAVE A LOCKABLE LID. LID SHALL BE AMPRO L1682 LOCKING LID.
 - ALL BACKFLOW DEVICES MUST BE INSTALLED AND TESTED UPON INSTALLATION AS PER CITY ORDINANCE 2394.
 - EXTERIOR BUILDING AND SITE LIGHTING WILL MEET THE STANDARDS OF 7.11 OF THE UNIFIED DEVELOPMENT ORDINANCE. THE LIGHT SOURCE SHALL NOT PROJECT BELOW AN OPAQUE HOUSING AND NO FIXTURE SHALL DIRECTLY PROJECT LIGHT HORIZONTALLY. FIXTURES WILL BE MOUNTED IN SUCH A MANNER THAT THE PROJECTED CONE OF LIGHT DOES NOT CROSS ANY PROPERTY LINE.
 - 100% COVERAGE OF GROUND COVER, DECORATIVE PAVING, DECORATIVE ROCK (NOT LOOSE), OR A PERENNIAL GRASS IS REQUIRED IN PARKING LOT ISLANDS, SWALES, AND DRAINAGE AREAS. THE PARKING LOT SETBACK, RIGHT-OF-WAY AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION.
 - IRRIGATION SYSTEM MUST BE PROTECTED BY A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACKFLOW DEVICE, OR A DOUBLE CHECK BACK FLOW DEVICE AND INSTALLED AS PER CITY ORDINANCE 2394.
 - ALL STRUCTURES SHALL COMPLY WITH APPLICABLE CITY OF BRYAN SETBACKS.
 - ALL ADA PARKING SPACES SHALL COMPLY WITH RULE 68.104 (TCV) HOUSE BILL 3163
 - WHERE ELECTRIC FACILITIES ARE INSTALLED, BTU HAS THE RIGHT TO INSTALL, OPERATE, RELOCATE, CONSTRUCT, RECONSTRUCT, ADD TO, MAINTAIN, INSPECT, PATROL, ENLARGE, REPAIR, REMOVE AND REPLACE SAID FACILITIES UPON, OVER, UNDER, AND ACROSS THE PROPERTY INCLUDED IN THE PUE, AND THE RIGHT ON INGRESS AND EGRESS ON THE PROPERTY ADJACENT TO THE PUE TO ACCESS ELECTRIC FACILITIES.

NO.	REVISIONS	DATE	BY

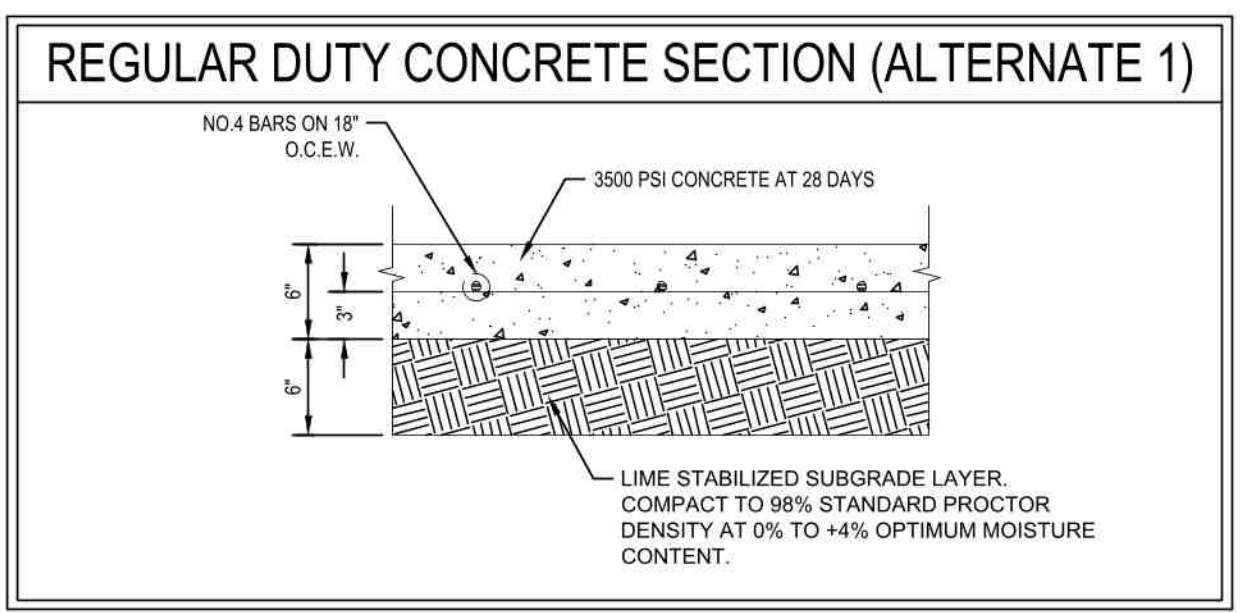
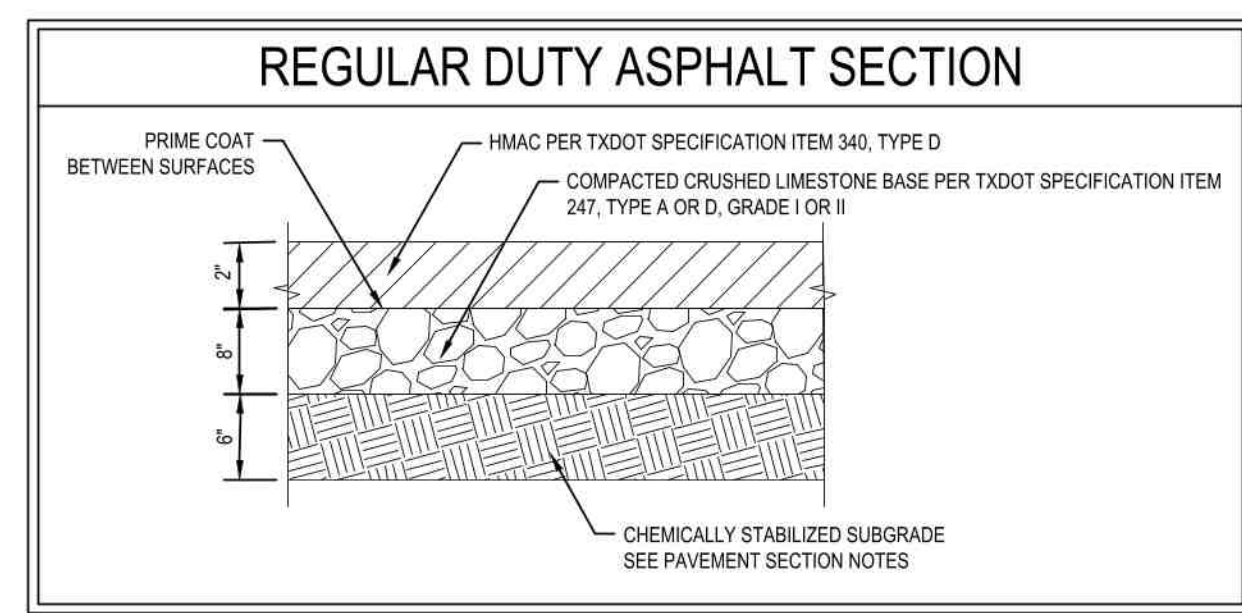
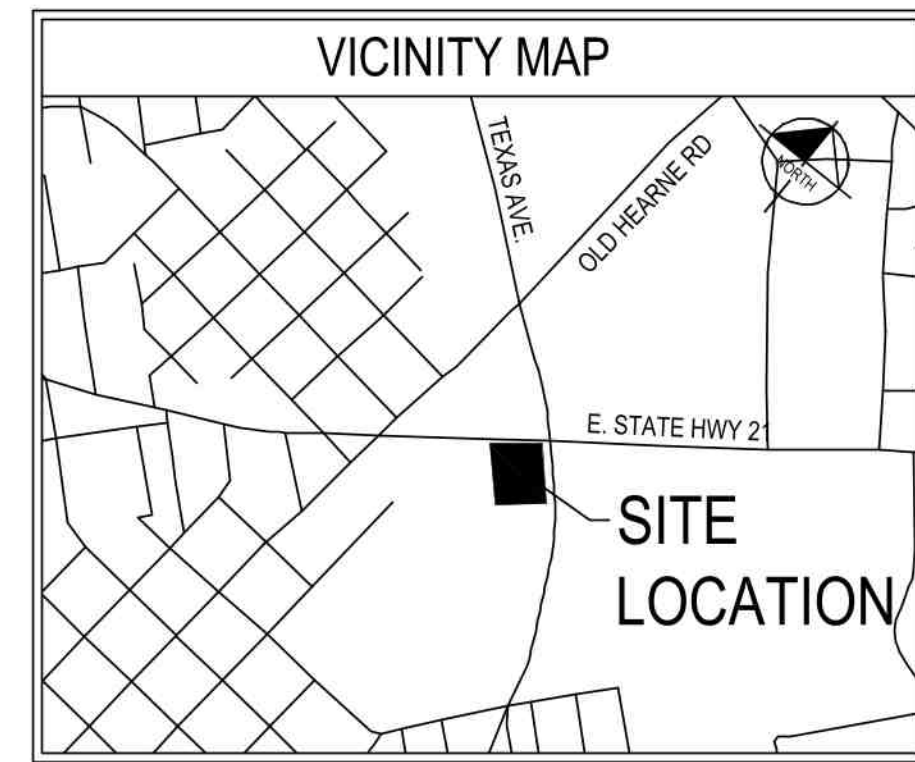
Kimley-Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
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 2800 SOUTHVIEW, BRYAN, TX 77802
 PHONE: 979-775-9595 FAX: 979-775-9599
 WWW.KIMLEY-HORN.COM



KHA PROJECT	066081801
DATE	JANUARY 2022
SCALE	AS SHOWN
DESIGNED BY	JCH
DRAWN BY	KEM
CHECKED BY	JCH

CITY SITE PLAN



SITE DATA TABLE

OWNER:	SPINNAKER TEXAS AVE, LLC 10201 MEMORIAL DR. HOUSTON, TX 77024
ZONING:	COMMERCIAL DISTRICT (C-3)
LAND USE:	COMMERCIAL
LOT AREA:	2.45 ACRES
AREA OF CONSTRUCTION:	2.42 ACRES
SITE ADDRESS:	1520 N. TEXAS AVE. BRYAN, TX
PROPERTY ID:	39991
LEGAL DESCRIPTION:	SFA 10, BLOCK 2, LOT 1 (TR-498)
NUMBER OF MULTI FAMILY BUILDINGS:	0
DENSITY OF DWELLING UNITS PER ACRE:	0
PARKING REQUIREMENTS:	
USE:	SHOPPING CENTER
REQUIRED PARKING:	1 PER 275 GROSS FLOOR AREA
REQUIRED ADA PARKING:	73
PROPOSED PARKING:	3
PROPOSED ADA PARKING:	75
	3

SURVEYOR

KERR SURVEYING, LLC.
 409 N. TEXAS AVENUE
 BRYAN, TX 77803
 TEL: (979) 268-3195

OWNER

SPINNAKER RETAIL, LTD.
 3700 BUFFALO SPEEDWAY
 SUITE 400
 HOUSTON, TX 77098
 TEL:
 CONTACT: NEAL WADE

CONTROL POINTS

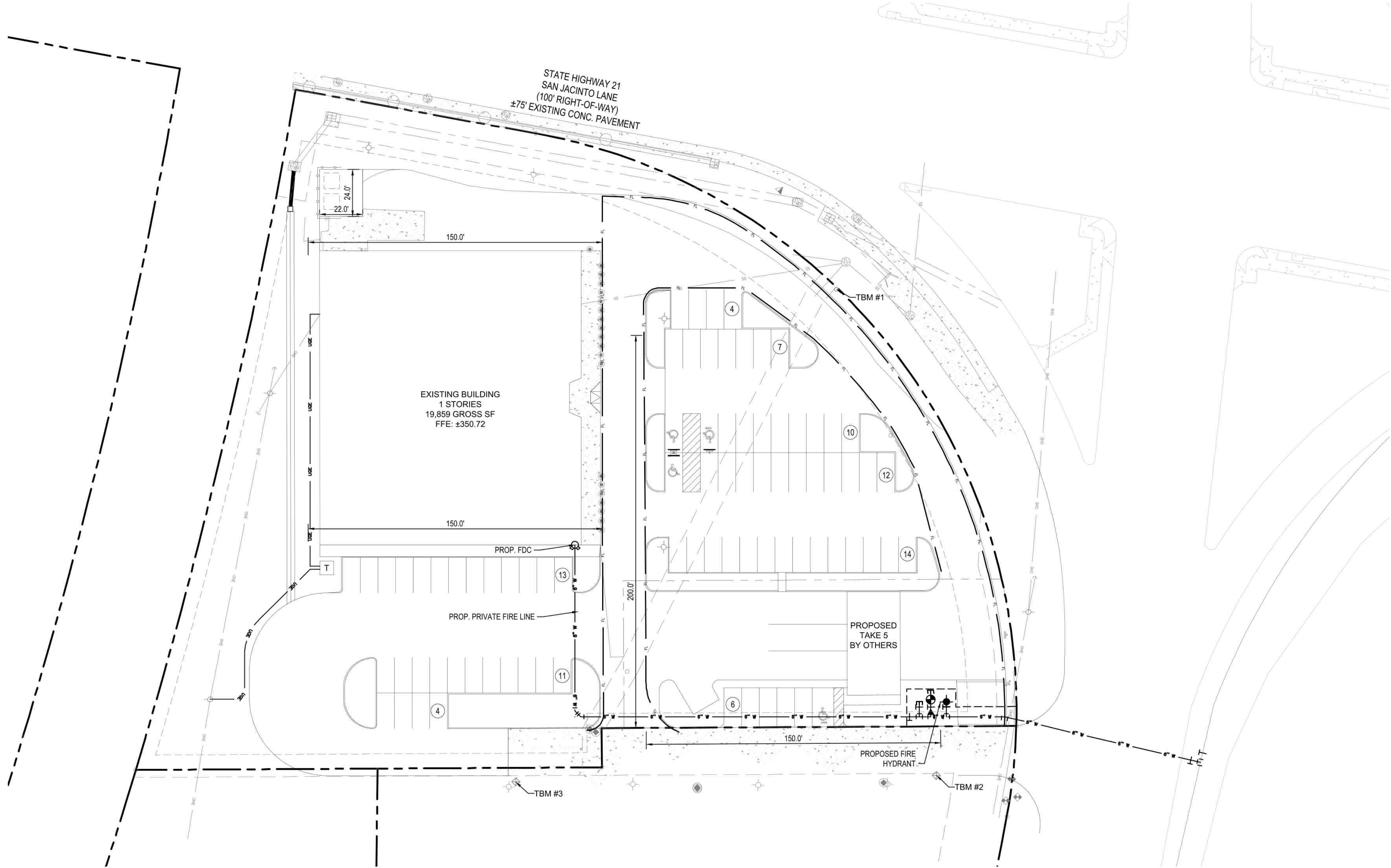
NAME	DESC.	NORTHING	EASTING	ELEVATIONS
TBM #1	5/8" KSCP SET FOR BOM	10236134.85	3541372.85	345.64'
TBM #2	X IN SQ BM SET	10236005.42	3541590.05	350.11'
TBM #3	X IN SQ BM SET	10235844.9	3541447.87	352.53'

CAUTION!!

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

SITE PLANNING AT
 1520 N. TEXAS AVENUE
 PREPARED FOR
 SPINNAKER REALTY, LTD
 BRYAN, TEXAS

Plotted By: Briscoe, Annie (Besson) Sheet Set: KHA Layout: Layout1 March 23, 2022 11:34:35am K:\CST_Civil\066081801 - SWC TEXAS 21\CAD\PlanSheets\C-SITE-FIRE PROTECT.dwg
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LEGEND

- — — — — PROPERTY LINE
- — — — — PROPOSED FIRE LANE
- — — — — PROPOSED 6" CURB

GRAPHIC SCALE IN FEET
 0 15 30 60

811 Know what's below.
 Call before you dig.

CAUTION!!

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

No.	REVISIONS	DATE	BY

Kimley»Horn

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**CITY SITE PLAN -
 FIRE PROTECTION**

**SITE PLANNING AT
 1520 N. TEXAS AVENUE
 PREPARED FOR
 SPINNAKER REALTY, LTD
 BRYAN, TEXAS**

SHEET NUMBER
C2.1